

**Bradfordville Sector Plan
Leon County, Florida**

An examination of the diagram of Existing Commercial Center Zoning reveals the predominance of BC-1 Auto Oriented commercial zoning, a pattern which might be interpreted to be at variance with the intent for Mixed Use A to emphasize residential use, a "village atmosphere" and commercial uses limited to local-serving shops, groceries and drug stores. These auto oriented designations also are applied at some distance from Thomasville Road, immediately adjacent to low density residential areas and extending onto properties with rolling wooded terrain and high scenic value.

In contrast, the pattern of BC-2, Pedestrian-Oriented Commercial, appears fragmented among auto-oriented and other "heavy" commercial designations, in contrast to the compact "village atmosphere" envisioned for Mixed Use A. The likely pattern of emerging commercial development should be considered with respect not only to total commercial capacity, but also with respect to the development of the "single center" and the "village atmosphere" called for in the Comprehensive Plan. The fact that total "zoned" development capacity is substantially greater than that necessary to meet the needs of the immediate area, and well beyond what unrestricted market demand would likely absorb for the foreseeable future, has important implications for the emerging pattern. When zoning provides for far more development than is likely to occur, what may occur is sporadic, fragmented development which is unlikely to consolidate as the "single center" envisioned in the Comprehensive Plan. However, such a center could emerge within the pattern of present zoning, through incentives to intensify commercial development where it is most suitable, and through limitations on commercial and incentives for residential uses, where commercial development is less suitable and unnecessary to meet immediate needs.

**4.2.3 Future Development Concept and
Regulatory Implementation**

The sector planning process included the development of a number of alternative concepts (see *Appendix 5*) which explored ways in which present commercial zoning districts and other development regulations could be adjusted to

Bradfordville Sector Plan
Leon County, Florida

demonstrate compliance with Comprehensive Plan policies. These included proposals to reduce commercial zoning designations as a means of adjusting the quantity of commercial development to reflect the needs of the immediate Bradfordville area. The concepts were then "tested" for their relative impacts on traffic and stormwater and presented for public comment and review by the Planning Commission and the Board of County Commissioners. The concept approved by the Board of County Commissioners, as the basis for the Sector Plan, retains underlying commercial zoning designations, and applies an overlay district which modifies the timing, intensity, quantity, permitted uses and the character of commercial and other development. Such modifications to present land development regulations have been fashioned to be consistent with Comprehensive Plan policies, while acknowledging and accommodating reasonable development expectations.

Additional development regulations shall be written to ensure compliance with the Comprehensive Plan and, to the extent feasible, with those recommendations of the Working Groups that are consistent with the policy intent of the Comprehensive Plan. These additional development regulations, together with a prioritized capital improvements program, major thoroughfare plan and orderly utility extensions necessary to guide development within the Bradfordville Commercial Center, shall be applied in a new overlay district, which will include the following provisions:

- **Commercial Development Suitability Designations** - to encourage development of "a single Bradfordville [commercial] center"; to direct commercial development to those areas with the greatest commercial development suitability; to provide incentives for residential and other complementary uses consistent with the [Mixed Use A] interpretation of Comprehensive Plan policies; to effectuate a compact, non-sprawl pattern of growth; and to reduce traffic congestion and related air quality impacts.
- **Commercial Growth Limitation** - to provide that total commercial development does not exceed an amount that

**Bradfordville Sector Plan
Leon County, Florida**

is "commensurate with population growth" and the needs of the immediate Bradfordville area through the year 2020.

- **Development Standards** - to ensure compliance of future development with higher standards for water quality and stormwater retention; protection of natural features, viewsheds and environmentally sensitive lands; and development character and compatibility with adjacent neighborhoods.
- **Design Guidelines** - to encourage the development of a "village" character and aesthetics that exemplify the unique heritage of Bradfordville.
- **Capital Improvement Implementation** - to provide mechanisms to fairly distribute costs of capital improvements, the need for which is generated by new development. These improvements include new internal roadways to reduce the traffic impacts of commercial development, and open spaces which may be necessary for the retention of significant natural landscape features and, as appropriate, for off-site provision of required "natural areas" and/or for stormwater mitigation. Development agreements necessary to provide these facilities may be entered into at the option of the developer if the project otherwise fails to meet timing, phasing, adequate public facility and/or concurrency regulations. In addition, the County shall develop a stormwater contingency plan for Stormwater Management Facility # 4 ("the Lauder Holding Pond").

1. Commercial Development Suitability Designations

As depicted on *Figure 12*, an overlay district will be created that establishes appropriate policies for the following areas:

Commercial Overlay One (CO-1)

Commercial Overlay One applies to those properties determined to have the greatest suitability for moderately intense commercial development. This area includes the bulk of properties which are presently developed for commercial uses and those undeveloped properties adjacent to existing

Bradfordville Sector Plan
Leon County, Florida

commercial uses that have direct frontage on, or access from, Thomasville Road, including properties on all quadrants of the existing and proposed Thomasville Road intersections. Due to factors of high automobile accessibility and visibility, property configurations and the established pattern of commercial use, commercial development suitabilities for these properties are high, residential development suitabilities are low, and impacts on natural features and on adjacent neighborhoods are limited. Included within this designation is a portion of the Lauder Property fronting on Thomasville Road.¹ Also included are two parcels that front the northern right-of-way of the proposed connector road extending from Bannerman Road to the northeast, parallel to Thomasville Road. Until this road is constructed, these properties will remain in the Commercial-Mixed Use Overlay Two designation.



Also within Commercial Overlay One, a "Village Center" is designated, bounded by Thomasville Road to the northwest, the Bradfordville Road realignment to the south, and a proposed local connector road from the Bannerman Road-Bradfordville Road intersection to a new Thomasville Road intersection, as illustrated in the Commercial Center Development Concept diagram. This area, surrounding the existing Publix shopping center, represents the best opportunity to develop a compact pedestrian-oriented "village center" of related neighborhood-serving commercial uses. In addition, the opportunity for shared parking among multiple uses within this area, in conjunction with off-site provision of required "natural areas," could produce an improved development efficiency, which in turn could permit a greater development intensity than is possible within the present pattern of fragmented, "strip" commercial configurations.

Based on the current zoning pattern, the additional commercial development capacity within Commercial Overlay One ranges from approximately 470,000 square feet to

¹ The Chapter 163 Agreement in effect on the Lauder Property provides for up to 100,000 s.f. of commercial development. Assuming maximum permitted intensity of 8,500 s.f. of commercial building area per acre (Floor Area Ratio of 0.1951), and an approximate site width of 820 feet, this commercial development should be encouraged, through site plan review, to be compactly located within the first 625 feet of property depth, or as close as possible to Thomasville Road.

**Bradfordville Sector Plan
Leon County, Florida**

approximately 520,000 square feet, if developed to the present maximum intensity of 8,500 square feet of building area per acre (FAR 0.195). This variation in development capacity is contingent on the extension of the proposed local road north of Thomasville Road which would extend the Commercial Overlay One to include approximately 6 acres of land which would have commercial frontage north of this proposed road, after removing approximately 4.4 acres to accommodate the road right-of-way. If developed at the reduced intensity achieved at the Publix site of 5,367 square feet of building area per acre (FAR 0.123) development capacity would range from approximately 332,000 square feet to 364,000 square feet. These capacity estimates exclude office or residential development which could occur on property designated BOR.

Given that the proposed commercial development limitation considered to be appropriate to meet the needs of the immediate Bradfordville area over the next twenty years is 350,000 square feet (as discussed later in this narrative), it is possible that the entirety of this development may be accommodated within Commercial Overlay One. The balance of vacant properties in this zone, if any, is expected to develop for non-residential activities other than retail, including office or institutional uses.

Commercial-Mixed Use Overlay Two (CMUO-2)

Commercial Mixed Use Overlay Two consists of properties with lower-intensity commercial development suitability than properties in Commercial Overlay One. Factors resulting in this lower suitability include the following:

- Adjacency to established residential areas.
- Reduced traffic accessibility and visibility or potential traffic conflicts.
- Environmental constraints, such as woodlands or other natural features, topography, and viewsheds.

In order to guide commercial development into a more compact, orderly pattern in those areas determined to be most suitable for such development, free-standing commercial



Bradfordville Sector Plan
Leon County, Florida

development within Commercial-Mixed Use Overlay Two will only be permitted if necessary to accommodate the 350,000 square feet estimated to meet the needs of the immediate Bradfordville area through 2020. Upon the recalculation of commercial needs in 2010, free-standing commercial development could be permitted within Commercial-Mixed Use Two, if such additional development capacity is needed to accommodate revised estimates of the needs of the immediate area, upon build-out of Commercial Overlay One. However "convenience" retail uses, which are ancillary to residential development, may be permitted immediately and are not limited by the commercial limitation of 350,000 square feet.

In addition, due to the lower commercial development suitability exhibited within this overlay district, additional development regulations should apply including:

- Reduced impervious cover
- Mandatory site, tree and vegetative cover preservation
- Design review for visual impacts (within the Lake McBride viewshed).
- More restrictive permitted uses than provided in present (BC-1 Auto-Oriented) zoning districts

With a present zoned capacity for commercial development of over one million square feet in the Bradfordville Commercial Center, even unrestricted market forces would likely not absorb this commercially designated land within the next decade or two. Properties with zoning designations which preclude residential development would therefore "wait" for the unmet commercial market demand to grow sufficiently to absorb the available commercially designated land.

Providing properties which are presently limited by "commercial only" zoning designations, with incentives to develop medium density residential uses should enhance the development value of such properties by increasing the likelihood that marketable development will occur in the short range. Likewise, these incentives will serve to meet the intent of Mixed Use A to balance residential and commercial

**Bradfordville Sector Plan
Leon County, Florida**

development within the Bradfordville Commercial Center. Residential uses up to densities of 4 and 6 dwelling units per acre for single family and duplex dwellings, respectively, or 8 dwellings per acre for townhouse (attached single family) development are provided "by right". A density "bonus" of an additional 4 units per acre is recommended as a further incentive for townhouse development, with an increase to 40 percent of site area designated for natural area preservation, to be achieved through development clustering.

Neighborhood-serving convenience retail may be permitted as a conditional use when developed in conjunction with, and integrated into, the pattern of planned residential development. Such development should be in a ratio of no more than 25 square feet per residential unit, provided that all other provisions of land development regulations are fully met. Thus, on a hypothetical 10-acre parcel, 80 to 120 townhouse units could be built, along with 2,000 to 3,000 square feet of neighborhood convenience retail. Assuming average dwelling sizes of 1,500 square feet, achievable development would total 122,000 to 183,000 square feet, or as much as two to three times the amount of "commercial only" development which might be permitted on the same property at some future date. These incentives answer concerns regarding the provisions for reasonable economic use of properties which will, for at least 10 years, not be permitted to build out for commercial development.

2. Commercial Growth Limitation

Based on the commercial needs calculations, summarized in the following section, 350,000 square feet of commercial development is established as the maximum amount of commercial development which will be permitted within the Bradfordville Commercial Center over the next twenty years, not including professional offices, services, institutional or other non-commercial uses that may occur within commercially zoned areas. This quantity of commercial development shall only be permitted within Commercial Overlay One, except for ancillary convenience retail, which may be permitted within Commercial Mixed Use Overlay Two to coincide with planned residential development.

**Bradfordville Sector Plan
Leon County, Florida**

In Year 2010, commercial needs will be recalculated using then-current data on population and on the actual buildout characteristics of vested/exempt commercial developments. Such re-calculation may warrant retaining, or adjusting the commercial limit downwards or upwards for the remainder of the 20-year plan horizon. Specific modifications to this commercial growth limitation may be made to permit the buildout of commercial development within Commercial Overlay One or, if warranted, to permit commercial development within Commercial - Mixed Use Overlay Two. Detailed procedures for completing this reassessment and for modifying the commercial growth limitation provisions of the Sector Plan shall be incorporated into the Land Development Regulations.

Commercial Needs Computations

As per the directives of the Interim Settlement Agreement, a Commercial Computations Working Group was created to address the measurement of that quantity of commercial development appropriate for the Bradfordville Commercial Center, consistent with Policies LU 8.4.1 and LU 8.4.2.

Although this working group spent considerable effort to resolve this issue over a period of seven months, during which some fourteen meetings were held, the group did not reach complete consensus on the amount of additional commercial development which should be accommodated in the Bradfordville Commercial Center. The group's method, summarized in Appendix 6, can be generally described as a demand-based analysis, which factors the incomes, expenditures and quantities of commercial use supported by the future (Year 2020) population of the BSA. Key variables and assumptions which the working group addressed, and which directly affected its conclusions, included the following:

- *How to define the future population (market area) which would be served by the Bradfordville Commercial Center?*

**Bradfordville Sector Plan
 Leon County, Florida**

- *What "market flexibility factor" should be applied in translating estimates of needed commercial "footprints" into zoning capacities for commercial development? - anticipating that not all commercially zoned properties will be used for commercial development, and that not all commercially development will continuously accommodate commercial use, due to vacancies, obsolescence and uses of commercial space for non-commercial uses (storefront offices, clinics and other service uses).*
- *What assumptions to make regarding the likely buildout of presently vested/exempt commercial development outside the Bradfordville Commercial Center, and the extent to which such development might meet some or all of the commercial needs of the immediate Bradfordville area?*
- *How to define measures of income (median vs. mean / family vs. household) and percentages of income assumed to be spent on various types of commercial goods?*
- *How, or whether, to adjust for commercial purchases by those residing outside of Bradfordville, and for purchases by Bradfordville residents made outside the Bradfordville Commercial Center?*
- *How to define the types of commercial goods and associated types of commercial centers which are appropriate to meet the needs of the immediate area? (neighborhood centers, community commercial centers, regional centers, free-standing gas stations, restaurants, etc)*

Working Group members who were representatives of homeowners associations (HOAs) interpreted these variables to conclude generally that, while there was a future unmet need for an additional approximate 200,000 square feet of commercial development, these needs would be fully met by commercial development likely to occur among "vested" or

**Bradfordville Sector Plan
Leon County, Florida**

otherwise exempt commercial development outside the Bradfordville Commercial Center. On this basis, the HOA representatives concluded that there is little or no need for additional commercial development within the Bradfordville Commercial Center.

Applying different assumptions among the variables, County staff representatives on the working group concluded that the need for additional commercial development within the Bradfordville Commercial Center could range from 228,991 square feet to 324,809 square feet, depending on what market flexibility factor were applied.

Following the completion of the Commercial Computations Working Group's efforts, alternative calculations were prepared on behalf of certain property owners. These alternative (Dr. Cronin) calculations introduced a new measure of the population to be served by the Bradfordville Commercial Center, replacing the 2020 estimated population of the Bradfordville Study Area (BSA) of 22,216 with the estimated population of a larger Bradfordville Market Area (BMA). This new methodology resulted in an estimated need for approximately 1.2 million square feet, unadjusted for any vested/exempt commercial development.

In an attempt to provide a more simplified, "common sense" estimate of commercial needs, County staff prepared new "supply-side" calculations of future need, based on the maintenance of the present Leon County average ratio of 49.88 square feet of commercial space of per person. Applying this ratio to the projected BSA population, the unmet 20-year need for commercial development is estimated to be 274,479 square feet. Applying this ratio to the larger BMA (Dr. Cronin) population, the estimated need is 459,634 square feet. Both estimates incorporate adjustments for existing BSA commercial development and for some 620,000 square feet of vested/exempt commercial development.

While it is not the purpose of this summary to critique the many calculations of commercial needs, it is appropriate to observe (see *Figure 13* below) the wide range of estimates

**Bradfordville Sector Plan
Leon County, Florida**

these calculations produced. In spite of the laudable intent of the Commercial Computations Working Group to apply scientific precision in the measurement of need, the actual results demonstrate that it is the judgements applied in making assumptions among a multitude of variables, which determine the results achieved.

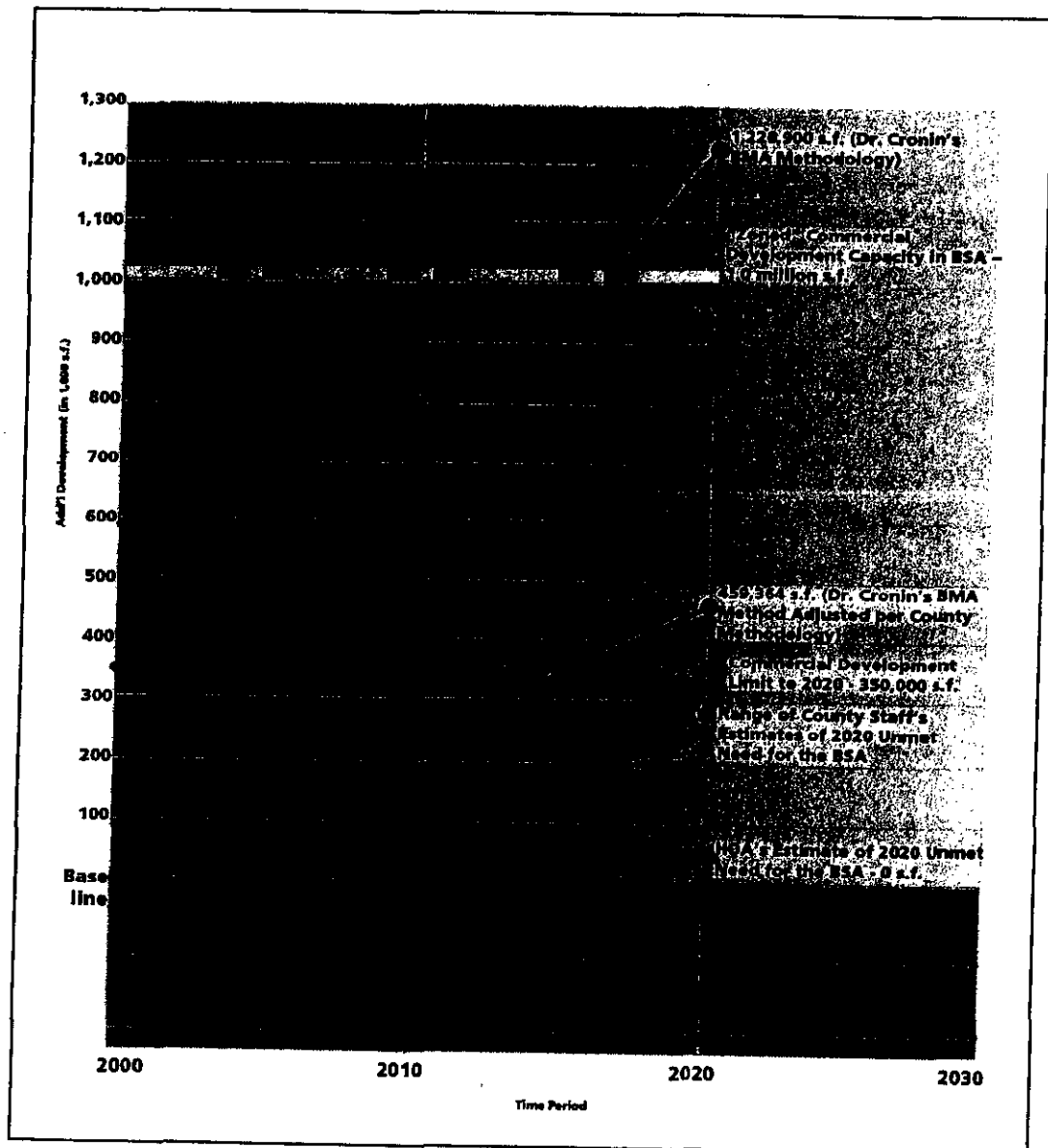


Fig. 13 -- Commercial Needs and Development Capacity Analysis

Bradfordville Sector Plan
Leon County, Florida

It is also prudent to examine the basic premises which structure these "demand-based" and "supply-based" approaches to the needs calculations. The "demand-based" premise, that the incomes of future residents determine the quantity of commercial space needed, would suggest that higher income areas such as Bradfordville, must "need" more commercial space than more moderate income areas. Common sense, however, might suggest that needs within the "immediate area", such as for basic necessities such as groceries, drug stores and convenience goods, are not so directly tied to income levels, as would be the case for fashion apparel, jewelry, major appliances and more discretionary items and "luxury" goods that are not normally provided in neighborhood centers. Likewise, the "supply-based" premise that Bradfordville should replicate the average distribution of commercial space found throughout in Leon County, suggests a questionable land use assumption that commercial development be uniformly distributed among urban, suburban and rural areas. The point is not to attempt to identify "right" or "wrong" methodologies, but simply to suggest that all such calculations may contain some bias and must, therefore, be interpreted with common sense and applied in a manner which addresses other, less quantifiable factors, such as the functionality of development patterns and actual land suitability for development.

Based on a reasonable interpolation within the range of calculated needs, the Sector Plan determines that no more than an additional 350,000 square feet of commercial development should be permitted within the Bradfordville Commercial Center through 2020, subject to the recalculation of commercial needs in 2010. Except for convenience retail, ancillary to residential development within Commercial-Mixed Use Overlay Two, which may occur without respect to this limit, all commercial development should occur only in Commercial Overlay One. This commercial limit provides for substantial commercial growth, more than doubling present commercial space over 20 years. Conversely, it reduces potential commercial development to less than one half of the commercial development capacity of current zoning, and guides this reduced commercial growth into a more compact

**Bradfordville Sector Plan
Leon County, Florida**

"single commercial center" consistent with the Comprehensive Plan.

3. Development Standards

In order to achieve compliance with Comprehensive Plan policies, and to otherwise guide development of the Bradfordville Commercial Center in a manner that protects community character, neighborhoods, and natural and scenic resources, the following standards shall be incorporated into the Land Development Regulations.

Permitted Use Regulations

• *Village Center and Commercial-Mixed Use Overlay Two*

The following uses shall be deleted from present lists of permitted uses in underlying zoning districts:

- Automotive service and repair
- Towing, wrecking and recovery services
- Motor vehicle fuel sales
- Pawnshops
- Pest control services
- Cemeteries
- Crematoriums
- Dry cleaning plants
- Gun firing ranges
- Self-moving operations
- Wholesale building supplies
- All types of drive-through facilities

In addition, warehouses, mini-warehouses, and self-storage facilities, where currently allowable, shall be reviewed as Planned Unit Developments and, therefore, subject to the requirements of the existing Type D Site Plan review process. For these uses, the review shall pay particular attention to the location, configuration, and buffering of the proposed development relative to adjacent uses.

• *Commercial-Mixed Use Overlay Two*

In all underlying zoning districts, the following shall become permitted residential uses, subject to the following density limitations, in order to expand non-commercial development

**Bradfordville Sector Plan
Leon County, Florida**

opportunities, promote a balance of residential and commercial use, and expand housing choice.

Type of Residential Use	Minimum Density	Maximum Density
Single family detached	1 du/acre	4 du/acre
Single family attached (duplex)	4 du/acre	6 du/acre
Single family attached (townhouse)	6 du/acre	8-12 du/acre*

* Depending on application of recommended bonus density as an incentive for increased natural area protection

Development Intensity Standards

• *Commercial Overlay One*

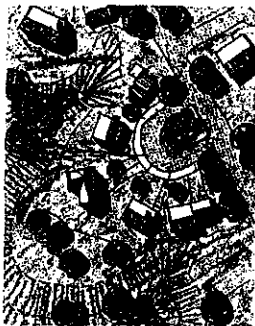
Throughout the area presently zoned for commercial use, a requirement exists for the preservation of 25 percent of site area "in its natural state." This requirement applies in addition to mandatory landscape buffers and maximum 40 percent impervious coverage requirements. Such a requirement increases the land area needed to accommodate commercial development, thereby reducing development efficiency and compactness and exacerbating sprawl. Improved site utilization should be accomplished through an increase in allowable building size per acre, from 8,500 square feet to 10,000 square feet (F.A.R. 0.229) of commercial floor area per acre, as long as the 25 percent natural area preservation requirement is met off-site in an open space mitigation area, as described below. Stormwater management requirements shall continue to be met on-site for properties in this overlay zone, with the exception noted below.

• *Village Center*

The Village Center functions as a "center within a center," with the highest degree of intensity, compactness, and pedestrian orientation and scale. Such a center affords the opportunity for centralized shared parking with a higher degree of utilization than the sum of separate parking facilities would yield. Greater utilization, through an incentive for shared parking, will be the basis for a parking reduction factor, which in turn, reduces the need for impervious surfaces.

**Bradfordville Sector Plan
Leon County, Florida**

To further maximize land development efficiency and compactness, the off-site natural area mitigation option available to properties within the Commercial Overlay One should be made mandatory in the Village Center. In addition, off-site stormwater mitigation shall be offered as an option within this area only.



- *Commercial-Mixed Use Overlay Two*

Because of the reduced commercial development suitability in this overlay zone, as well as a heightened concern regarding stormwater issues within the Lake McBride watershed and the area south of the Bradfordville Road realignment, maximum impervious cover shall be decreased from 40 percent to 30 percent for non-residential development. Impervious cover requirements for residential development shall remain at 40 percent. The minimum area required to be retained in its natural state shall be increased from 25 percent to 35 percent for all commercial, office and residential development, and to 40 percent for single-family attached (townhouse) development if developed up to the recommended maximum density of 12 units per acre.

- *Lake McBride Scenic Overlay*

The designation of the Lake McBride Viewshed as a Scenic Overlay district is consistent with the objective of preserving those elements that contribute to the distinctive character of Bradfordville, specifically, and of Leon County, in general. The Scenic Overlay designation adds aesthetic-based standards to existing resource-based protections provided by other designations such as the special development zone, canopy road overlay, conservation area, or historic preservation overlay district. All development within the designated Lake McBride Scenic Overlay district (defined approximately on the Commercial Center Future Development Concept diagram, *Fig. 12*), shall be subject to Type "B" review, and shall comply with appropriate standards to ensure that such development maintains visual quality and protects scenic features. At a minimum, the standards shall deal with the following issues:

**Bradfordville Sector Plan
Leon County, Florida**

- minimizing tree and vegetation removal;
- minimizing grading to preserve the quality of existing landforms;
- siting new structures behind natural screening or creating filtered views by selective clearing and/or mitigation with indigenous species or other acceptable species commonly found in the area;
- designing new structures to complement the site and the surrounding community, through scale, proportion, massing, materials, and/or detailing;
- siting and designing utilities, drainage structures, lighting, signage, and walls, to harmonize with the surroundings and to minimize visual impacts; and
- siting and screening parking, service, and storage areas to reduce their visual impact.

Areawide Regulations

The following regulations shall apply in all underlying zoning districts:

• *Signs*

Present sign standards permit the proliferation of excessively large, tall, illuminated pole signs that contribute to visual blight along arterial commercial strips. In keeping with the intended rural character of Bradfordville, the following suggested modifications to present sign standards should be implemented in the LDRs:

Road Classification	Maximum Area		Maximum Height	
	Present	Proposed	Present	Proposed
Arterial Roads	150 s.f.	100 s.f.	25 feet	10 feet
Major Collector Roads	100 s.f.	70 s.f.	20 feet	8 feet
Minor Collectors/ Local Rds.	36 s.f.	40 s.f.	8 feet	6 feet

These standards will replace tall "billboard-scale" pole signs with lower-scaled pole or pedestal-mounted (monument) signs that will remain visible to traffic, but will be more compatible with the landscaped buffers in which they will be placed.

**Bradfordville Sector Plan
Leon County, Florida**

- **Landscape Standards**

The presently required 30- and 20-foot landscape buffers along arterials and collectors/local roads, respectively, are considered adequate in dimension, but the current regulations are not fully effective in the provision of visual screening. The regulations should provide for use of a palette of appropriate, largely native-species of trees, shrubs and ground covers, and a 50% minimum opacity level, up to a height of five feet.

4. Design Guidelines

The mandate to apply special design guidelines in Bradfordville is based on Comprehensive Plan Objective LU 8.5 to ***"Preserve the rural character and historic legacy of the Bradfordville study area through...the adoption of design standards for development review"***; and Policy 8.5.1 to ***"adopt additional LDRs, if needed,...to provide an aesthetically pleasing environment that respects the character of the community"***. In addition, the intent of Mixed Use A was to encourage, within the Bradfordville Commercial Center, a ***"village atmosphere"***.

To better clarify the specific design elements which should be applied to follow this policy direction, the sector planning process included a design "charrette" to enable residents to express a vision for the desired character of the commercial center. Residents divided into discussion teams and were asked to describe desired characteristics, consistent with the intent of the Comprehensive Plan. Groups then reported their conclusions, indicating broad consensus on the design character and quality which should emerge in the commercial center. The results of their discussions are condensed in *Appendix 4*.

The following excerpted remarks highlight those design features and characteristics on which there appears to exist consensus.

- *The village center should be pedestrian-oriented. Non-major streets should also be accommodating to pedestrians.*

**Bradfordville Sector Plan
Leon County, Florida**

- *The view of commercial areas from major roads should be heavily vegetated, with Thomasville Road developed as a "green corridor".*
- *There should be a unified architectural theme based on local vernacular.*
- *Scale should be small. Preferred height generally should be no more than two stories.*
- *Primarily retail uses (no wholesale) and outdoor cafes, with no-fast-food restaurants or drive-throughs.*
- *Several "non-contributing" uses permitted by zoning should not occur in the village center.*
- *Parking should be screened; with angled parking along side streets; shared parking should be encouraged.*
- *Civic uses such as a public plaza/park, places for children—Lake Ella used as an example.*
- *Provide underground utilities, hidden dumpsters and air conditioners.*
- *Stormwater ponds should be designed as site amenities.*
- *Pedestrian amenities such as covered walkways, shade, textured sidewalks, etc. should be provided/encouraged.*
- *Signage should be strictly controlled, and should be smaller and lower than what is currently allowed.*
- *Lighting should be controlled so as to avoid "light pollution," and to provide appropriate pedestrian scale.*
- *Design standards should require the retrofit of existing commercial uses, with compliance schedule based on costs.*
- *Two groups proposed a non-staff, (citizens) design review committee.*

Although the specific design guidelines will be described and depicted more fully in separate document to be referenced in the LDRs, the design intent of the guidelines are indicated in summary form below.

Purpose and Intent

The design guidelines applicable within the Bradfordville commercial center are intended to comply with Comprehensive Plan policies for the development of a design character which reflects the rural heritage and character of Bradfordville, and encourages the creation of a "village atmosphere".

Bradfordville Sector Plan Leon County, Florida

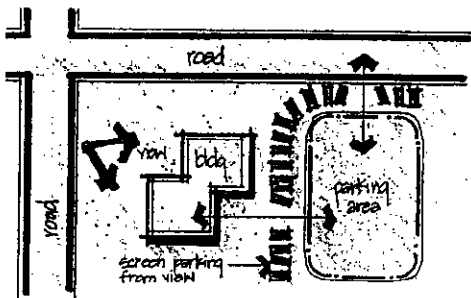
Review Procedure

The design guidelines will be applied through administrative (staff) review, which will amplify present development review procedures to consider the conformance of site layout, landscape and architectural design elements with the intent of the design guidelines.

Site Planning Guidelines

Site planning guidelines are intended to address the location, orientation, and configuration of structures on a parcel of land with regards to the parcel's own boundary lines, and adjacent streets, structures and spaces. Site design elements may include the following:

Site Placement and Orientation of Buildings: Structures will be encouraged, where appropriate, to be located in front of, and so as the screen, parking lots; to allow compact and convenient pedestrian linkages between buildings, parking areas and sidewalks. Buildings should also be placed and, as appropriate, clustered, to create clear sight-lines to entrances and to public open spaces, plazas and gathering areas.



Parking: Off-street parking should be screened from view by landscape buffers, and/or berms which provide a minimum 50% opacity when viewed from public rights-of way. Where appropriate, particularly within the village center, parking will be centrally clustered so as to be shared by multiple uses/tenants, with convenient pedestrian paths and corridors articulated by changes in pavement materials, colors or textures where they cross parking lots and driveways, and by landscaping and pedestrian scaled lighting.



Landscaping: Required landscape buffers should meet opacity requirements noted above and should use a palette of native and naturalized plant species. Major pedestrian corridors should be articulated by continuous alignments of trees and shrubs, pergulas, arcades or other landscape or architectural design elements.

Drainage: As may be feasible, drainage structures, including retention ponds and drainage ways, should be designed to

**Bradfordville Sector Plan
Leon County, Florida**

imitate "natural" pond characteristics, including curved geometries, gently sloping edges, landscaping and paving materials; and should be placed so as to be focal design amenities.

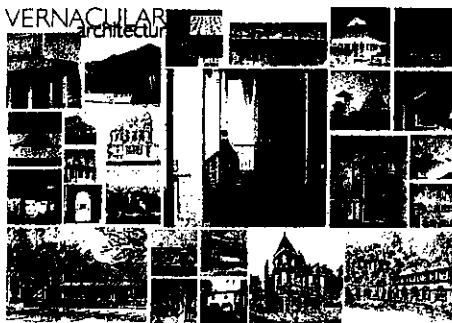
Outdoor Spaces: Within the village center, developments are encouraged to incorporate central plazas connecting multiple uses, designed to accommodate activities including outdoor dining, displays, special events and entertainment.

Fences/Screening: Fences, screening and berms, where required, shall use only natural materials; stone, wood, stucco, etc. Chain link fencing will not be approved except in areas out of public view.

Storage, Utilities and Services: shall be shielded from public view by landscaping, walls, fencing or by placement of buildings.

Building Design Guidelines

All buildings within the Bradfordville Commercial Center Overlay District should be designed to incorporate elements of local vernacular styles, typical within the Tallahassee region; described generally below. It is not the intent to mandate that all buildings be designed in a particular design style, but rather to create a "village theme" by flexibly combining related indigenous materials and styles. Standardized building designs with overt "product branding" as in standardized chain fast food restaurants, or gas stations should not be permitted.



Architectural Detailing: Vernacular architectural elements and details are encouraged to be incorporated, including, but not limited to, bracketed overhangs, windows articulated by mullions and accented by shutters, dormers, porches, verandas and arcades, particularly as may be used to define pedestrian areas and entrances. Standardized storefronts, excessive use of plate glass and uninterrupted façade planes should be avoided.

Colors, Textures, and Materials: Consistent with intended vernacular character, the use of quality, natural, and

Bradfordville Sector Plan
Leon County, Florida

indigenous materials is encouraged on major façade elements including: natural wood siding, brick, and stone. High quality, authentic looking man-made materials, such as fiber-cement board and stucco, are also acceptable for construction. However, materials such as vinyl siding, metal and plastic sheathing, and "simulated natural" materials should be avoided. Natural, subdued earth tone colors are preferred over primary colors except as may be used for accents. Excessively brilliant, metallic or reflective colors will be avoided.

Roof Forms: Elemental to vernacular design is the use of varied and articulated sloping roof forms. Flat roof areas should only be permitted in limited areas such as entrance canopies, walkway connections, storage and mechanical equipment areas, arcades, etc. Appropriate roof materials include metal standing seam, wood shakes, shingles and tile. Primary or bright colors and shall be avoided.

5. Capital Improvement Programming

It is recommended that certain substantial capital improvements be made in order to ensure an optimum development pattern and to mitigate development impacts on stormwater and traffic circulation. These capital improvements should be prioritized in a five-year capital improvements program.

Local Roadway Network

Two new roadways are proposed within the Bradfordville Commercial Center: a circumferential route connecting Bradfordville Road to Thomasville Road northeast of the Publix site, and a roadway extension paralleling Thomasville Road, and connecting Bannerman Road to Lawton Chiles High School. These two new routes will effectively distribute traffic so as to reduce congestion, particularly at the Bannerman and Bradfordville Roads' intersection with Thomasville Road. These routes will also open traffic management alternatives to Thomasville Road for vehicular access to commercial uses. Therefore, significant benefit will accrue to owners of property both fronting on or accessible

Bradfordville Sector Plan
Leon County, Florida

from these roadways. Although conceptually depicted in Sector Plan maps, final roadway alignments, geometries and widths are subject to intersection configurations, ownership patterns, site features and other engineering constraint factors. An evaluation of the traffic impacts of the proposed commercial development concept is presented in *Appendix 7*.

As directed by the Board of County Commissioners, the construction of these improvements shall not obligate funding reliant upon general tax revenues. Therefore, possible cost allocation mechanisms may include impact fees, a Municipal Service Taxing Unit (MSTU), Special Benefit Taxing District or other flexible benefit assessment mechanisms. Property owners desiring to develop faster than the prioritized CIP schedules may, at their option, enter into development agreements to fund any "public share" of costs related to past deficiencies and regional pass-through traffic to meet the rate of growth and adequate public facility/concurrency provisions of the Land Development Regulations. Failure to construct the proposed local roads, due to lack of sufficient funding or due to roadway engineering constraints or other reasons shall not constitute a failure to implement the Sector Plan, nor shall it limit the accommodation of the estimated need of the immediate area.

Open Space Retention

Properties south of the Bradfordville Road realignment pose significant challenges for development due to a variety of factors, including:



- The likely inability of the existing pond to accommodate additional development and also meet new stormwater standards;
- Possible vehicular access concerns due to limited sight-lines along the curving portion of the Bradfordville Road extension; and
- The existence of quality woodlands and topographic features, the loss of which will diminish the character of Bradfordville and represent a "missed opportunity" for a greenway / trail linking the village center with surrounding neighborhoods.

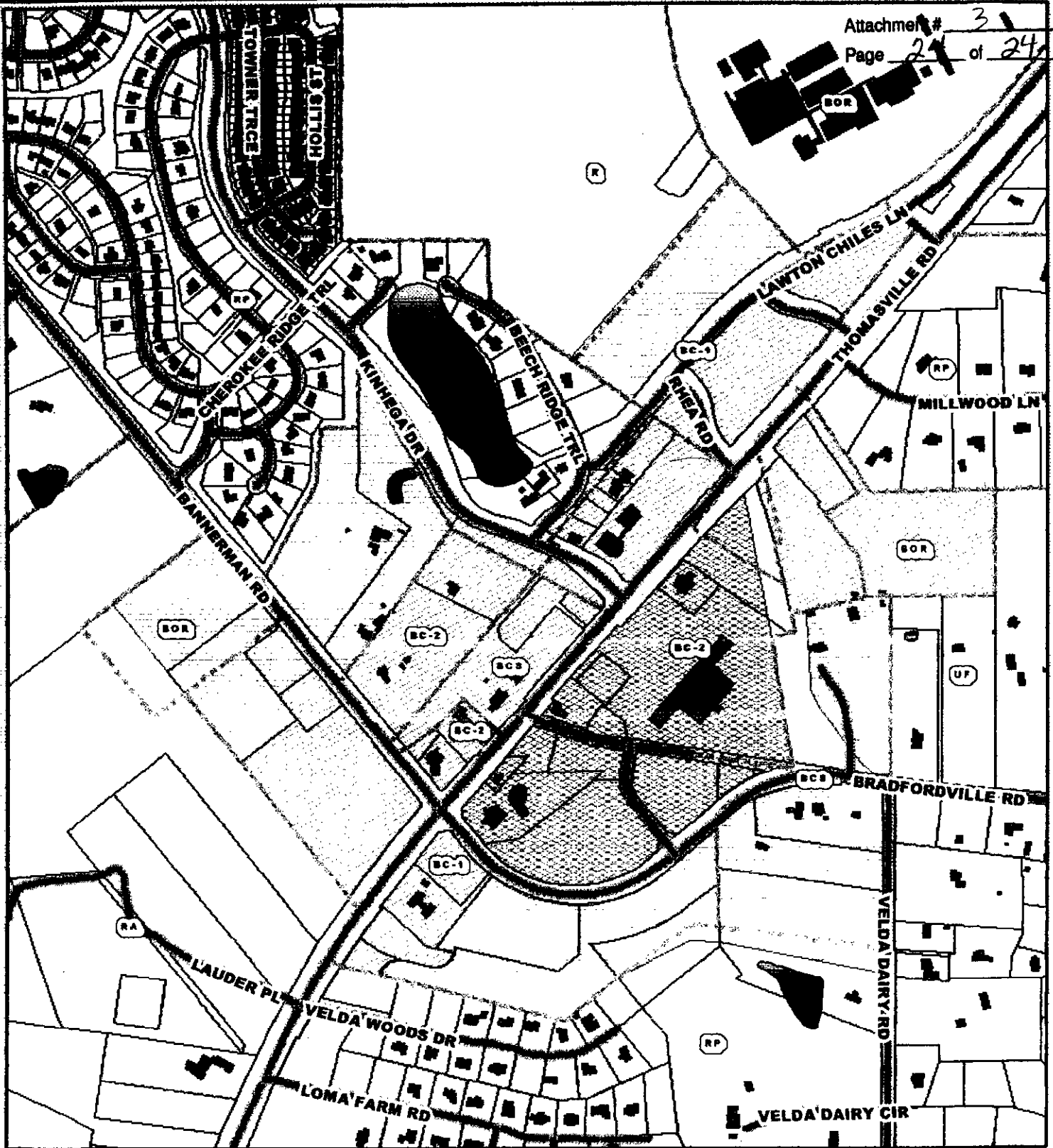
Bradfordville Sector Plan
Leon County, Florida

In addition to these constraint factors, the retention of some portion of this area as open space affords the opportunity to aggregate off-site requirements for "natural area" preservation and possible stormwater mitigation. Meeting such requirements off-site may be both necessary and advantageous in order for certain properties within the Village Center to build out in an efficient, compact fashion. Pursuant to this concept, commercial development elsewhere within the Bradfordville Commercial Center should be permitted to purchase rights to utilize this property, functioning as an "off-site mitigation bank," for off-site compliance with the requirement to retain 25 percent of site areas in "natural condition" and/or off-site stormwater treatment, as described in previous sections. The Land Development Regulations could also provide for a "Transfer of Development Rights" (TDR) essentially transferring zoned development potentials from the designated open space ("sending" site) to other commercial properties in Commercial Overlay One ("receiving" sites). If this strategy is selected, the Land Development Regulations will establish the framework for an appropriate TDR process including, as appropriate, provisions to increase permitted development intensity on "receiving" sites.

As with the proposed roadways, the retention of this open space may serve both public purposes and private interests. Potential sources of funding for acquisition of open space for the purposes of greenway linkages, natural area protection and passive park development should be sought, as well as funding under the T-21 Federal Transportation Act for transportation enhancements associated with bicycle/pedestrian pathways. Types of private sector contributions to consider may include impact fees, and purchases of off-site stormwater and natural area "mitigation rights" as described above. Additional potential mechanisms include a Municipal Special Taxing Unit (MSTU), Special Benefit Taxing District or other flexible benefit assessment mechanisms to distribute "private share" costs among property owners.

Bradfordville Commercial Overlay Zoning Districts

Attachment # 3
Page 24 of 24



	Waterbody		Buildings		Commercial Overlay Zone One
	Roads		Parcels		Commercial Overlay Zone Two
	Zoning Boundary		Village Center		

